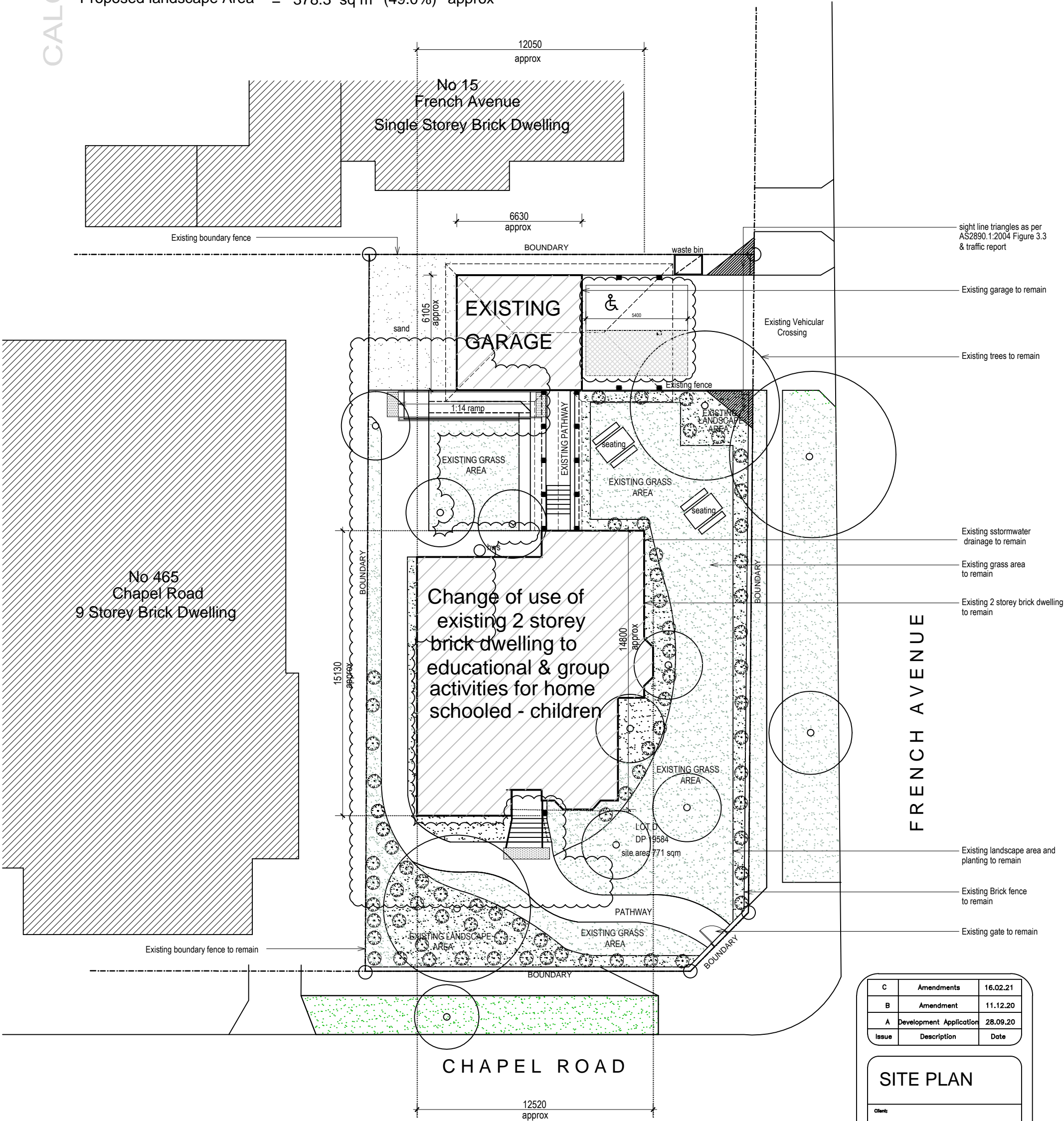
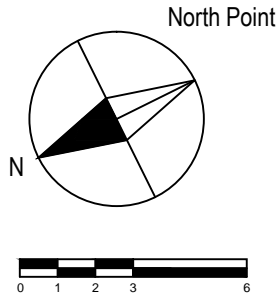


Site Area = 771 sq m
Existing Ground Floor Area = 144.9 sq m approx
Existing First Floor Area = 125.4 sq m approx
Total Existing Floor Area = 270.3 sq m approx
Existing FSR = 0.351:1 sq m approx
Existing landscape Area = 398.7 sq m (51.7%) approx
Proposed landscape Area = 378.3 sq m (49.0%) approx



SITE PLAN

Note: Plans drawn to be used for DA change of use application of existing premises purposes only.
Existing external works, site boundary, building dimensions, tree locations, calculations including landscape area are an approximation only, for an accurate reading a survey should be obtained.

C	Amendments	16.02.21
B	Amendment	11.12.20
A	Development Application	28.09.20
Issue	Description	Date

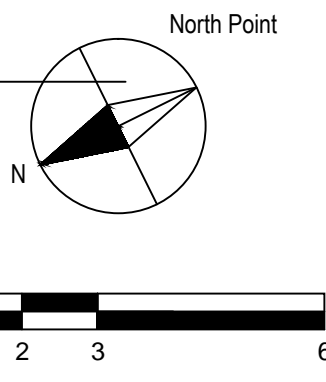
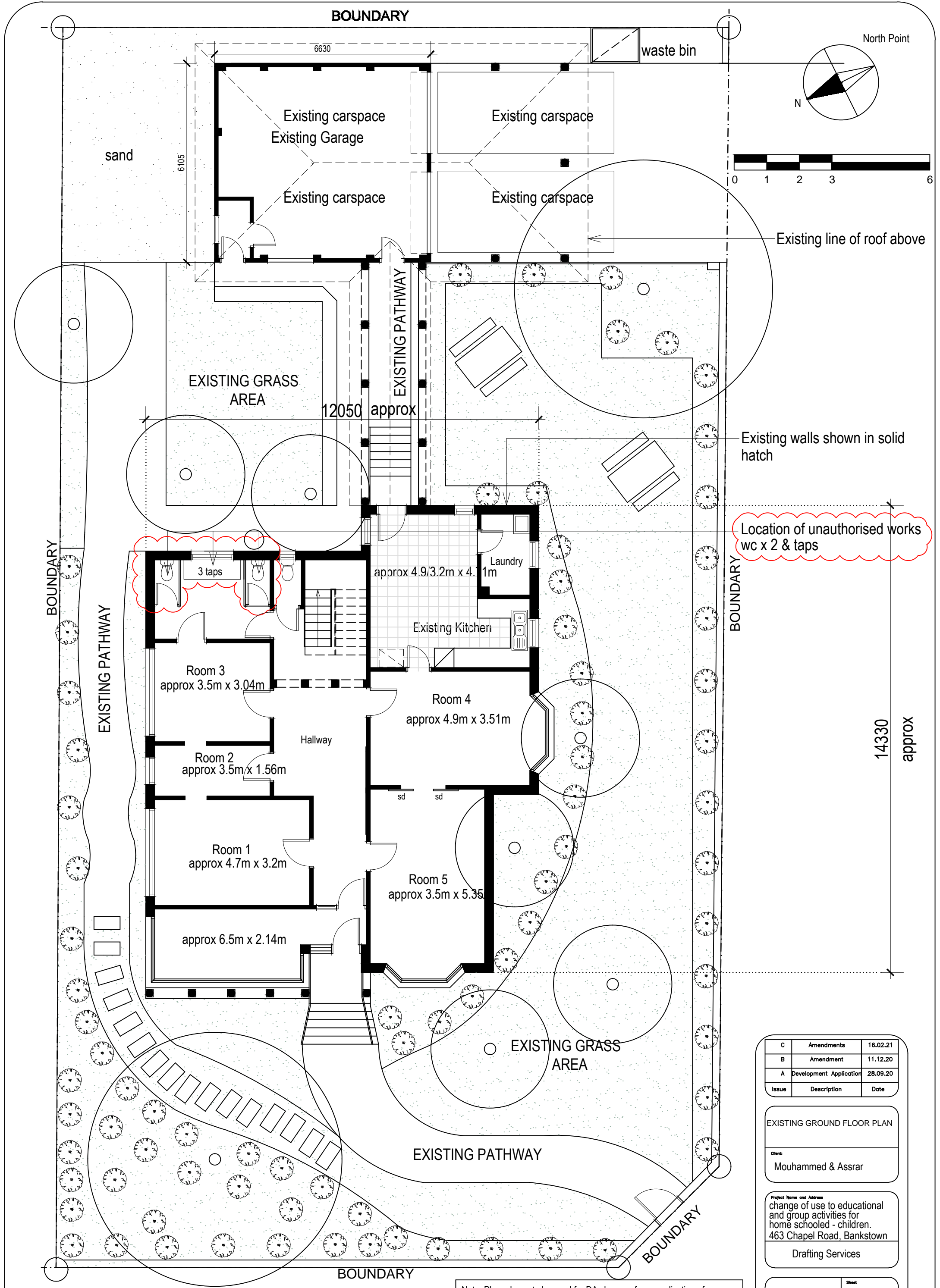
SITE PLAN

Client:
Mouhammed & Assrar

Project Name and Address:
change of use to educational and group activities for home schooled - children.
463 Chapel Road, Bankstown

Drafting Services

Date	28.09.20	Sheet 2
Scale	1:200 @ A3	



EXISTING GROUND FLOOR PLAN

Note: Plans drawn to be used for DA change of use application of existing premises purposes only.
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C	Amendments	16.02.21
B	Amendment	11.12.20
A	Development Application	28.09.20
Issue	Description	Date

EXISTING GROUND FLOOR PLAN

Client:
Mouhammed & Assrar

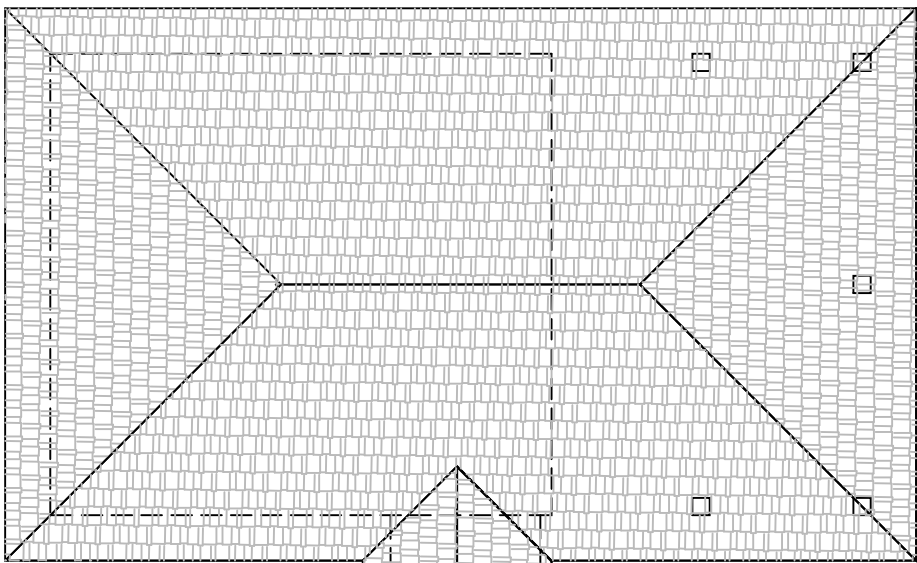
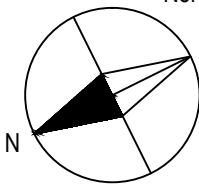
Project Name and Address
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463 Chapel Road, Bankstown

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Date	28.09.20	Sheet 3
Scale	1:100 @ A3	

BOUNDARY

North Point



12050
approx

Existing walls shown in solid hatch

BOUNDARY

14330
approx

Room 10
approx 3.5m x 4.1m

Room 9
approx 5.06/3.5 m x 2.6m

Room 8
approx 5.06 x 3.7m

Existing Balcony

cupboard

cupboard

Room 6
approx 4.8/3.7m x 3.5m

Room 7
approx 5.06 x 3.7m

BOUNDARY

BOUNDARY

BOUNDARY

EXISTING FIRST FLOOR PLAN

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A	Development Application	28.09.20
Issue	Description	Date

EXISTING FIRST FLOOR PLAN

Client:

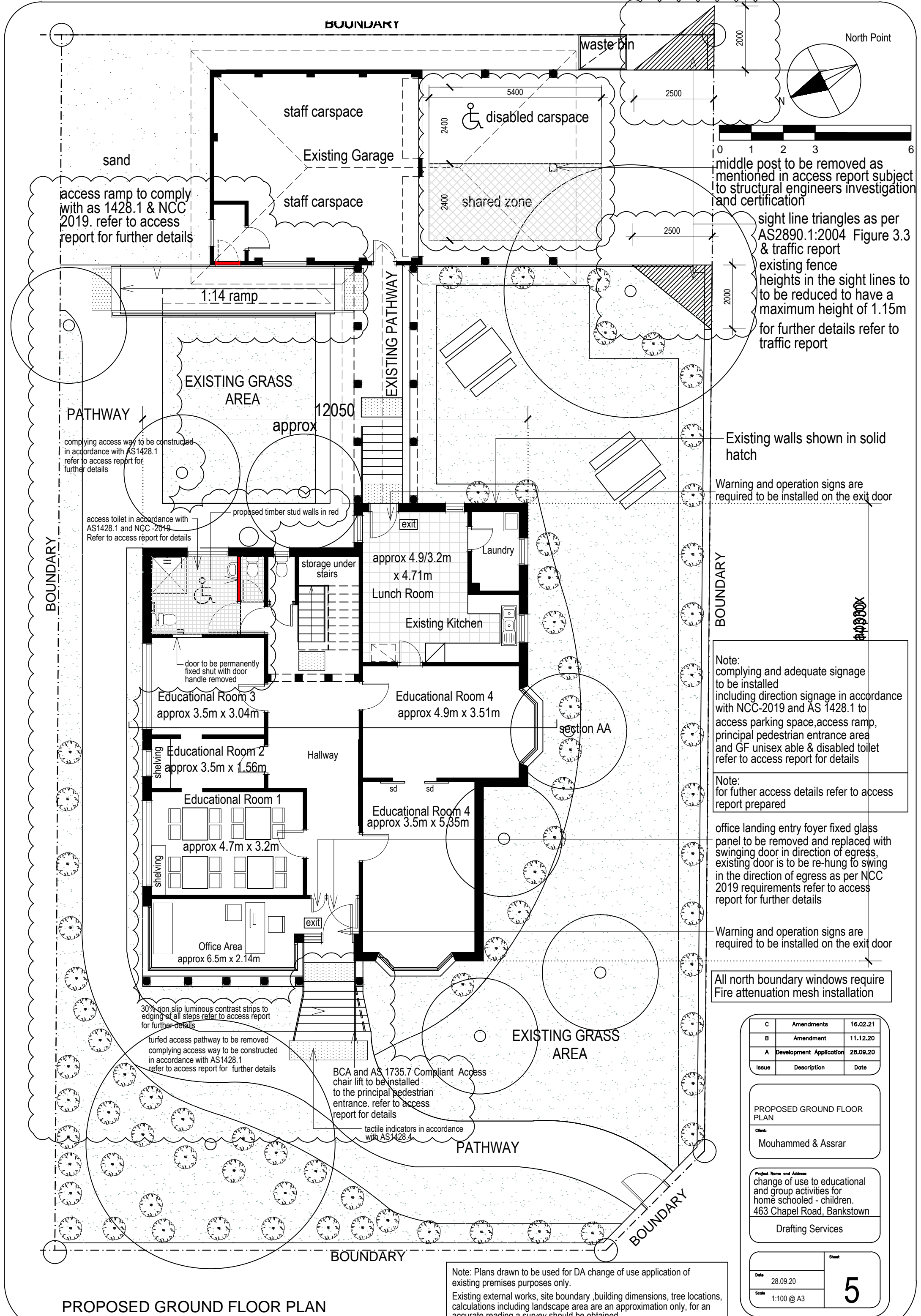
Mouhammed & Assrar

Project Name and Address

change of use to educational
and group activities for
home schooled - children.
463 Chapel Road, Bankstown

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Date	28.09.20	Sheet 4
Scale	1:100 @ A3	



PROPOSED GROUND FLOOR PLAN

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middle post to be removed as mentioned in access report subject to structural engineers investigation and certification
sight line triangles as per AS2890.1:2004 Figure 3.3 & traffic report
existing fence heights in the sight lines to to be reduced to have a maximum height of 1.15m for further details refer to traffic report

Existing walls shown in solid hatch
Warning and operation signs are required to be installed on the exit door

Note:
complying and adequate signage to be installed including direction signage in accordance with NCC-2019 and AS 1428.1 to access parking space,access ramp, principal pedestrian entrance area and GF unisex able & disabled toilet refer to access report for details

Note:
for futher access details refer to access report prepared

office landing entry foyer fixed glass panel to be removed and replaced with swinging door in direction of egress, existing door is to be re-hung to swing in the direction of egress as per NCC 2019 requirements refer to access report for further details

Warning and operation signs are required to be installed on the exit door

All north boundary windows require Fire attenuation mesh installation

C	Amendments	16.02.21
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A	Development Application	28.09.20
Issue	Description	Date

PROPOSED GROUND FLOOR PLAN

Client:
Mouhammed & Assrar

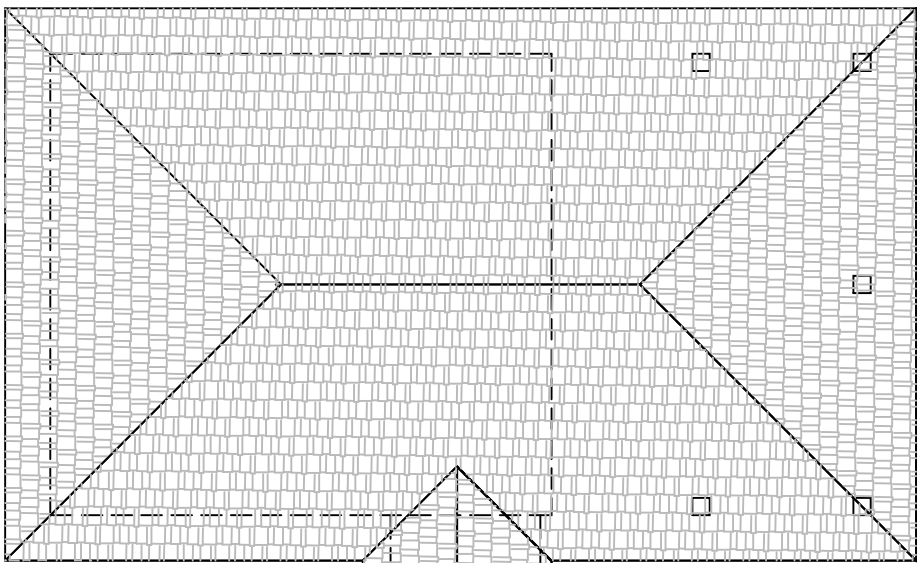
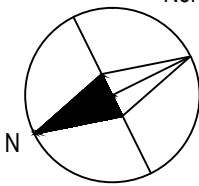
Project Name and Address
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Drafting Services

Date	28.09.20	Sheet 5
Scale	1:100 @ A3	

BOUNDARY

North Point



12050
approx

Existing walls shown in solid hatch

BOUNDARY

14330
approx

section AA

storage desk
Educational Room 10
approx 3.5m x 4.1m

shelving cupboard
Educational Room 9
approx 5.06/3.5 m x 2.6m

Educational Room 8
approx 5.06 x 3.7m

Existing Balcony

Educational Room 7
approx 5.06 x 3.7m

cupboard
Educational Room 6
approx 4.8/3.7m x 3.5m

Staff wc

Staff

bath

bath

1000 high balustrade
exit

clear weatherproof Perspex panels to be mechanically fixed to the inside of the balustrades at a min of 1m in height above the FFL

All north boundary windows require Fire attenuation mesh installation

C	Amendments	16.02.21
B	Amendment	11.12.20
A	Development Application	28.09.20
Issue	Description	Date

PROPOSED FIRST FLOOR PLAN

Client:
Mouhammed & Assrar

Project Name and Address
change of use to educational and group activities for home schooled - children.
463 Chapel Road, Bankstown

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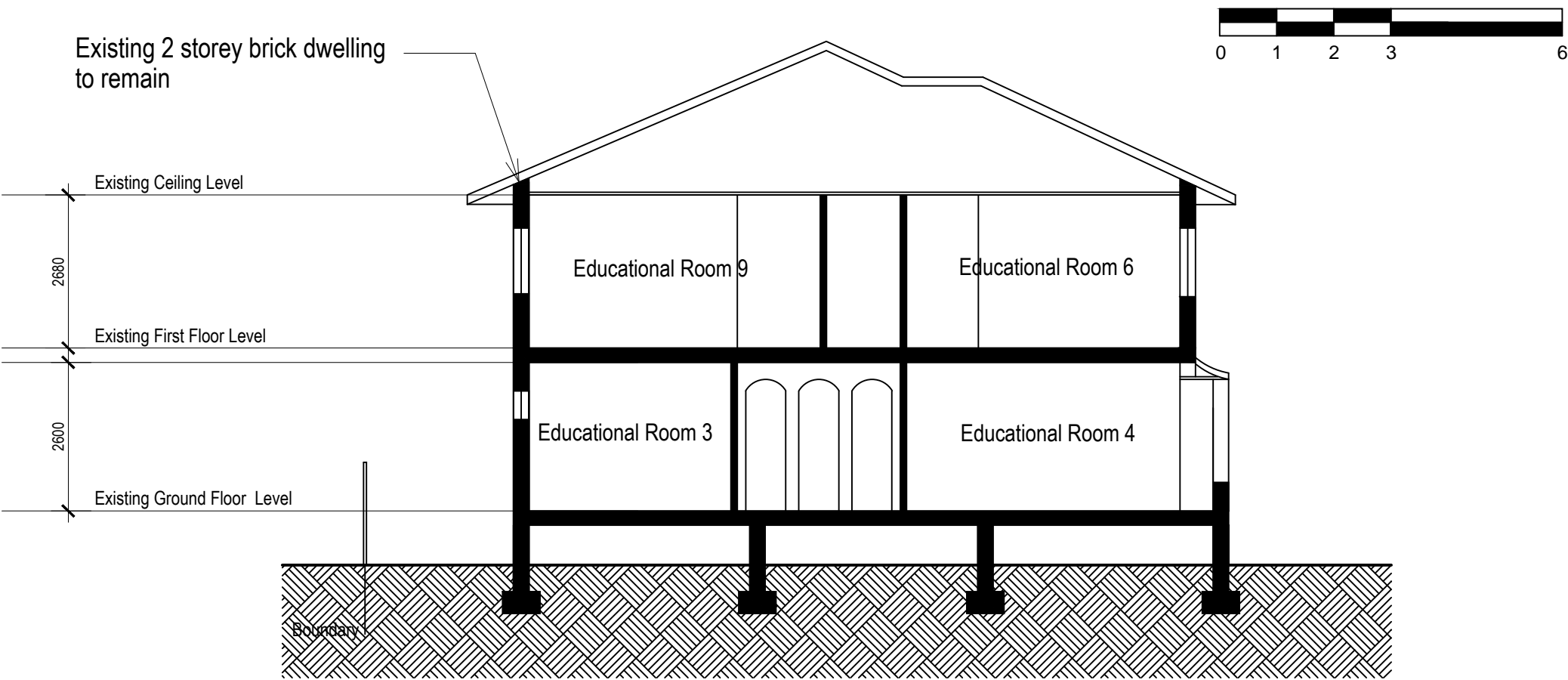
Date	28.09.20	Sheet 6
Scale	1:100 @ A3	

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PROPOSED FIRST FLOOR PLAN

BOUNDARY

BOUNDARY



SECTION AA

Notes

- Operation of the 2 exit door latches are to comply- must be readily openable without a key from the side that faces a person seeking egress, by— (i) a single hand downward action on a single device which is located between 900 mm and 1.1 m from the finished floor level
- The front & rear exit doors require signs to alert persons that the operation of certain doors must not be impaired, must be installed where it can readily be seen on, or adjacent to the front and rear exit doors
- Braille & Tactile braille and tactile signage complying with Specification D3.6 must— (i) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 and identify each— (A) sanitary facility, and (ii) identify each door required by E4.5 to be provided with an exit sign and state “Exit”;
- Portable fire extinguishers are to be located and distributed in accordance with Sections 1, 2, 3 and 4 of AS 2444;
- A smoke detection system complying with Clause 4 of NCC-2019 is required in all Class 2 – 9 buildings, a smoke alarm system must consist of smoke alarms complying with AS 3786; and be powered from the consumer mains source.
- Emergency lighting is required & to be appropriately located in the corridors and over ; the stairs G.F area and to the F.F areas in accordance with AS2293.1-2005 & to be maintained in accordance with AS1851;
- Exit Signs are required over or near exit doors in accordance with AS2293.1-2005 & to be maintained in accordance with AS1851.
- Direction signs are required where an exit is not readily apparent to persons occupying or visiting the building then exit signs must be installed in appropriate positions in corridors, hallways, lobbies, and the like, indicating the direction to a required exit.

For further details refer to BCA report

C	Amendments	16.02.21
B	Amendment	11.12.20
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Issue	Description	Date

SECTION AA

Client:
Mouhammed & Assrar

Project Name and Address
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463 Chapel Road, Bankstown
Drafting Services

Date 28.09.20	Sheet 7
Scale 1:100 @ A3	